

PLANNING AREA 8: DOVER POINT SPECIFICATIONS AND STANDARDS

Dover Point in Planning Area 8 is proposed as large-lot custom homes with private landscape, built upon single-family detached waterfront homesites. Homes may have private docks subject to joint approval by the Idaho Department of Land, United States Army Corps of Engineers and DRB.

House Square Footage

Maximum: 8000' – Minimum: 2800'

Maximum Lot Coverage:

50%

Maximum Building Height

30' as determined by International Building Code; the vertical distance from the grade plane to the average height of the highest roof surface, excluding architectural projections

Federal Emergency Management Act (FEMA)

The flood elevation level at Dover is between 2069.2 feet and 2070 feet as depicted on the FIRM map. Refer to the April 27, 2005, FEMA letter in Appendix 3 and current FEMA guidelines for a building elevation determination before you build.

Topographic Conditions

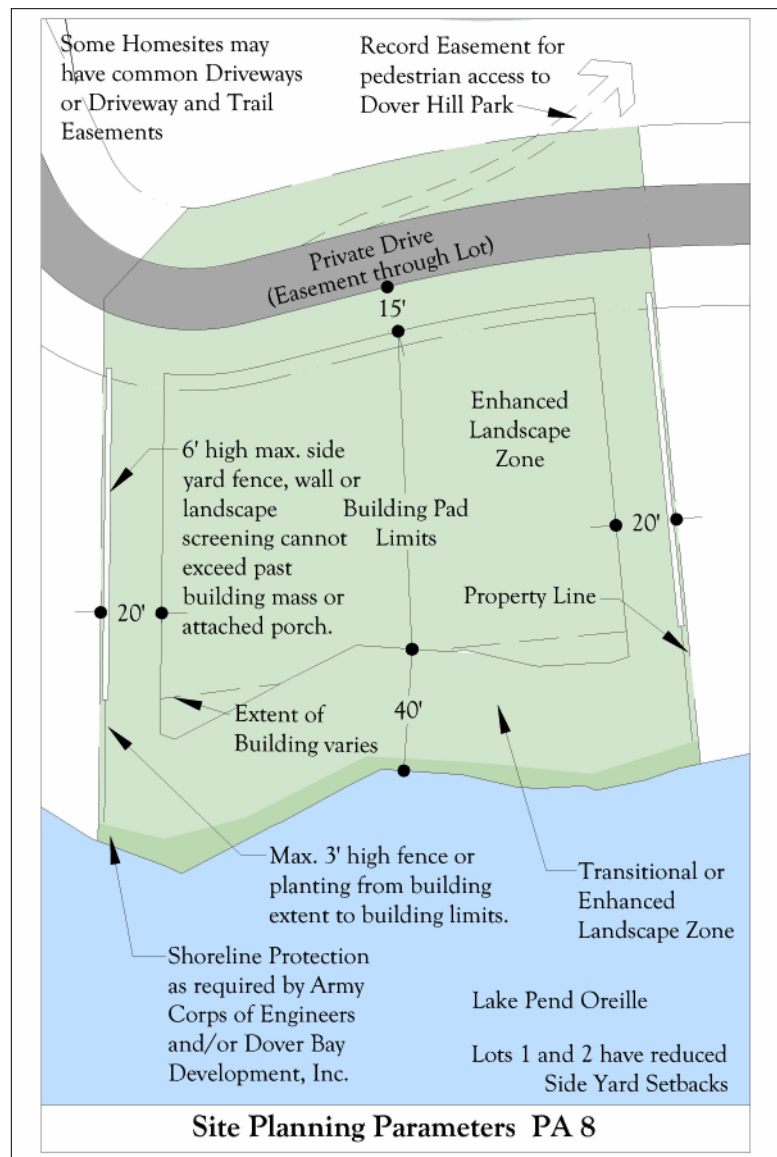
Topographic conditions may warrant special considerations outside the specified guidelines, enabling more flexibility and creative design solutions in response. Driveway grades and locations may warrant exceptions.

Tramways

Tramways or other conveyances to the Lake are permitted, subject to review and approval.

Dock Location and Configuration:

Docks, dock fingers or any structural or architectural projection shall not exceed 560 Square Feet and shall extend from Artificial High Water Mark (AHWM). Refer to Appendix 6.



PLANNING AREA 8 – SPECIFICATIONS AND STANDARDS *continued*

SPECIFICATION ITEM	STANDARD
Garage Driveway	16' maximum width x 25' minimum length with guest parking. Heated drives on steeper grades suggested. (Special topographic considerations may warrant variances.)
Primary Street, Minimum Building Setback	25' house side, 15' garage; front, rear or side, 25' house front, 25' attached porch front
Minimum Side Building Setback (property line to building)	20' exterior walls, 17' to projections Exceptions: Lots No. 1 + 2 – 15' exterior walls, 12' to projections
Minimum Water Setback (Artificial High Water Mark)	40' building, 40' to projections, 40' detached garages, 40' attached porches
Docks	All docks are subject to a joint application and approval by Idaho Department of Lands, United States Army Corps of Engineers and the DRB. Some restrictions may apply.
Minimum Setback to Wetlands	10'
Accessory Structures	Gross square footage maximum ground level, not to exceed 1,152. Gross square footage maximum upper level not to exceed 750. Three structures total maximum. No structure exceeds two levels.
Roof Forms	Architecture, colors and materials should blend to background landform and attempt to not be evident.
Street and Front Yard Landscape	One (1) mature shade tree (3 inch min caliper) per 2,000 sq. ft. of area and one (1) ornamental tree per 1,000 sq. ft. recommended.
Side and Rear Yard Landscape	One (1) mature shade tree (3 inch min caliper) and one (1) ornamental tree per 3,000 sq. ft. of area recommended.
Turf	Diminished “enhanced turf landscape “ is preferred.
Spas	Spas are permitted.
Interconnected Alarm System	Lots No. 4, 5, 6, 7 and 8 shall have an interconnected Fire and Smoke alarm system with battery backup approved by the Westside Fire Department.