

Landscape

LANDSCAPE ZONES

Use of a Landscape Architect or other landscape professional to create your landscape design is encouraged. The landscape plan should:

- Carefully incorporate the site's unique existing features, such as significant trees, rock outcroppings and view corridors.
- Result in an aesthetically pleasing homesite that emulates the natural condition without creating an overly "manicured look."
- Duplicate plant species and densities that naturally occur at Dover Bay while allowing some non-native and ornamental plants.
- Minimize grading disturbances.
- Conserve water and utilize xeriscaping principles.



Carefully planned landscaping can enhance the beauty of your home and the natural landscape

There are three distinct landscape zones at most Dover Bay homesites.

- **The Natural Landscape Zone** on the outer edge(s) of the homesite where natural landscape preservation is required in some locations.
- **The Enhanced Landscape Zone** surrounding the home structure(s) where plant material may be added to enrich the natural landscape and lawn areas are permitted.
- **The Transitional Landscape Zone** where the Natural and Enhanced Zones blend together with minimal natural landscaping that emulates the Natural Zone.

NATURAL LANDSCAPE ZONE

In this zone, located at one or more outer edges of the homesite, the natural landscape is not to be disturbed, even during construction. The only exception is removal of noxious weeds, which are listed by the Idaho State Bureau of Vegetation Management at www.agri.state.id.us/animal/weedlist.htm.

ENHANCED LANDSCAPE ZONE

Enhanced Landscape Zones are those areas adjacent to structures, where landscaping is intended to complement and enrich the natural landscape rather than replace it. Enhanced areas may include lawns and should be concentrated in specific locations around the structure, such as around patios, entries, porches, decks, terraces and breezeways rather than always encircling the entire home. This can be accomplished by providing areas of more intense seasonal color and/or highlighting specialized uses such as attracting songbirds.

If an ornamental landscape is desired, it must be clearly bounded by a physical containment device that will remain in place over time. Containment is necessary to protect migration and invasion of non-native materials into Dover Bay's native landscape.

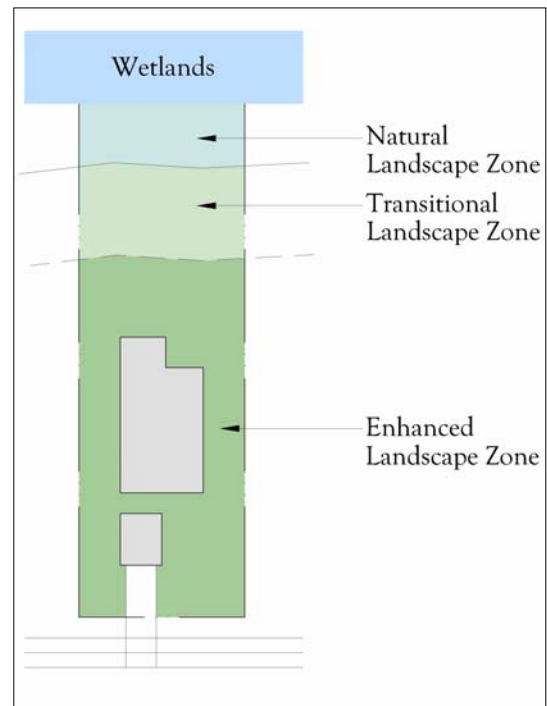
The containment element should be continuous from end-to-end without any breaks or openings. The materials used and location must be consistent with and appear to belong to the home. Appropriate material for the containment device consists of root barrier, native rock or stone found on-site and/or within the region. Wooden materials such as railroad ties, fences or bender board are not acceptable.

TRANSITIONAL LANDSCAPE ZONE

In the Transitional Landscape Zone at the perimeter of the homesite, landscaping shall emulate the character of the adjacent, undisturbed Natural Landscape Zone. This zone may include densely wooded, meadow or wetland edge conditions. Turf is not permitted.

To preserve the natural setting of a homesite, it is strongly suggested that the Owner retain or transplant significant native plant material to the Transitional Landscape Zone at the edge of the homesite prior to commencing construction. Additional native plants removed during the course of community construction may also be available from the DRB for transplanting to your homesite.

When using native plant species in both the Enhanced and Transitional Landscape Zones, it is important to remember that plant composition plays a significant role. Native species tend to occur in groupings instead of single specimens and each grouping is comprised of varying heights and sizes of material. Layering of various plant species, reflective of those found immediately surrounding the homesite, will help blend the home into the surrounding natural environment. Use of existing, partially buried boulders within the landscape is also strongly encouraged. To provide a naturalized appearance, minimally one quarter of a boulder's circumference should be buried.



LANDSCAPE CONSIDERATIONS

The following considerations apply to the landscape for all Dover Bay homes.

- A dynamic and dramatic four-season visual landscape is desired for the waterfront community.
- Generous use of colorful perennials and woody herbaceous ornamentals is encouraged for four-season color.
- Side yard evergreen tree massing and screening is encouraged.
- Removal of any plant material before and during construction is to be coordinated with the Design Review Board (DRB).
- Care should always be taken when adding plants to protect off-site/on-site view planes and corridors to site amenities.
- Deciduous shade trees are encouraged to mitigate summer sun issues.
- Privacy planting shall not exceed 4 feet in height within 20 feet of the high water mark.

- “Night sky” provisions apply. No overhead lighting is permitted.
- Landscape design should consider the probable location of snow shedding, moving and blowing operations and snow storage on the property.

LANDSCAPE INSTALLATION AND COMPLETION

The owner of any homesite shall seed, hydroseed or sod and otherwise landscape his/her lot in conformance with the landscape plan approved by the Design Review Board within 30 days of the completion of the home and as a requirement of the Certificate of Completion. The DRB may grant extensions as necessary normally associated with winter/snow conditions.

THE LANDSCAPE PALETTE

Appendix 1: Landscape Palette is an illustrated list of native plant materials including trees, shrubs, groundcover, vines and ornamentals that have been approved for use in landscaping Dover Bay homesites and surrounding areas. Use of other plant materials will be considered by written request to the DRB. Noxious weeds listed by the Idaho State Bureau of Vegetation Management are strictly prohibited. For this list, see www.agri.state.id.us/animal/weedlist.htm.

TURF

Turf is permitted only within the Enhanced Landscape Zone; however, we encourage minimizing use of landscape turf and maximizing use of natural vegetation. Planting turf directly next to the exterior walls of a home is not recommended. Instead, landscape elements with some vertical proportion, such as shrubs, will help ease the transition to the home structure. Turf may be used to border a patio or terrace.



Limited areas of turf may be used to enhance the house and yard landscape

TREE REMOVAL AND PRUNING

Any native or ornamental tree determined to be dead shall be removed within 60 days. If a dead tree is within the installation guarantee period, the homeowner should notify the installer immediately to arrange for replacement. Native or ornamental trees on private homesites shall also be pruned of dead or apparently dead branches or completely removed if diseased or dying, preferably by a professional tree-care arborist. It is the owner's responsibility to remove and discard dead trees from the site and replace with a similar species of minimum two (2) inch caliper size. Exceptions to dead tree removal may be approved by the DRB if the tree provides desirable habitat and poses no hazards.

USE OF CHEMICALS

No chemicals of any type shall be applied to the adjoining area within 10' of the aquatic resources shoreline area without written approval of the DRB. Use of chemicals in other areas, for enhancing growth of plant materials, inhibiting noxious weeds or propagation of insects or rodents is subject to approval of the DRB. Priority will always be given to stewardship of our wetlands and lake. Water run-off containing harmful chemicals is prohibited.

IRRIGATION

Temporary above ground irrigation to establish plantings is permitted in all site zones. The date of abandonment of temporary irrigation relative to the establishment period must be indicated on Proposed Final Plans submitted during the Design Review Process. All abandoned above ground irrigation equipment must be removed from the site by the date of abandonment indicated on these plans.

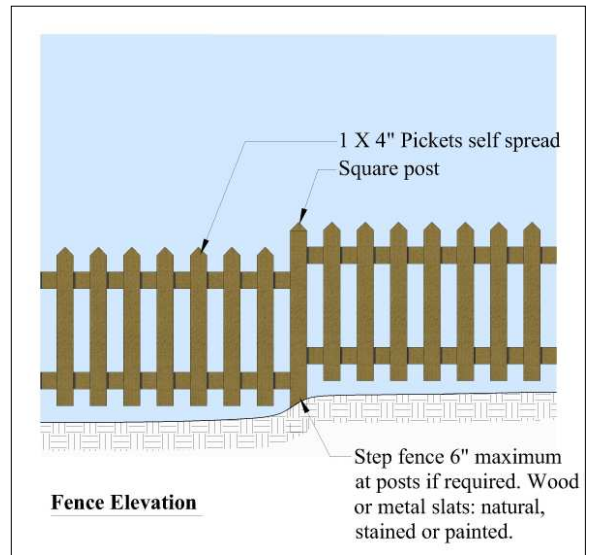
Permanent, below ground automatic irrigation is required in the Enhanced Zone on each property but is not allowed in the natural or transitional zones. Automated irrigation systems shall connect to the irrigation system. Winterization of the system is the Owner's responsibility.

FENCES AND WALLS

Fences and walls may be used as a visual extension of the home and to define courtyards or terraces. They must be attached to the home at one end and be no greater than six (6) feet in height or have a maximum six (6) inch step for grade. Side yard fence, wall or landscape screening cannot exceed past building mass or attached porch.

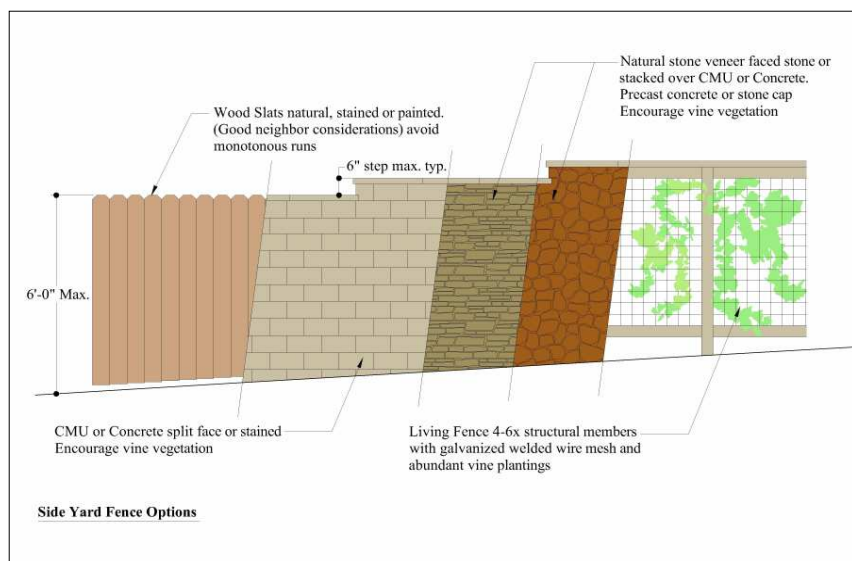
Fences shall be vertical pickets, wrought iron or a horizontal wood that can be seen through such as split rail, except for service area screening where fences shall be solid and compatible with the structure. Solid fences and walls are only permitted for use in screening undesirable elements such as refuse.

Wood fences may be left natural, stained, oiled or painted. Alternative composite materials are encouraged. *Chain link fencing of any kind is prohibited.*



REFUSE SCREEN FENCING

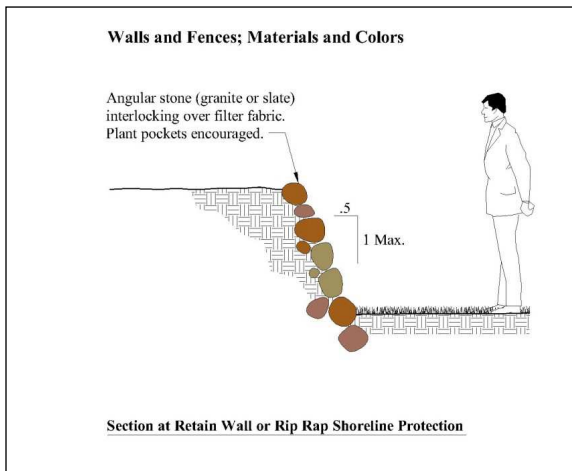
All refuse containers in both residential and commercial projects shall be screened from the road, neighbors and the public by means of an architectural or landscape solution. Methods for achieving this include a housed-in building or screening by the architectural project, a solid fence or wall or an evergreen hedge of five (5) feet minimum height, six (6) feet maximum.



RETAINING WALLS

In some instances, it may be necessary to provide retaining structures to protect trees next to roadways and other graded areas. It is particularly important that these vertical elements of the site be harmonious with the existing landscape features and have a natural appearance using natural materials such as stone.

Short walls may be used at the edge of turf areas or in boundaries between the building, transition or natural zones. These walls are to prevent the seepage of one type of landscape into another, to prevent the inappropriate spread of plant species across zone borders and to delineate these borders. They should not protrude above grade at the top of slope by more than one (1) foot. These site walls are to be constructed of rock indigenous to the area and should look native to the site with regard to color, form, and texture. They should blend in gently where they taper into existing grade and should not be used in straight runs, but rather follow the shape and contour of the site. They should also be used sparingly, as the prevailing principle for landscaping is continuity of the natural environment.

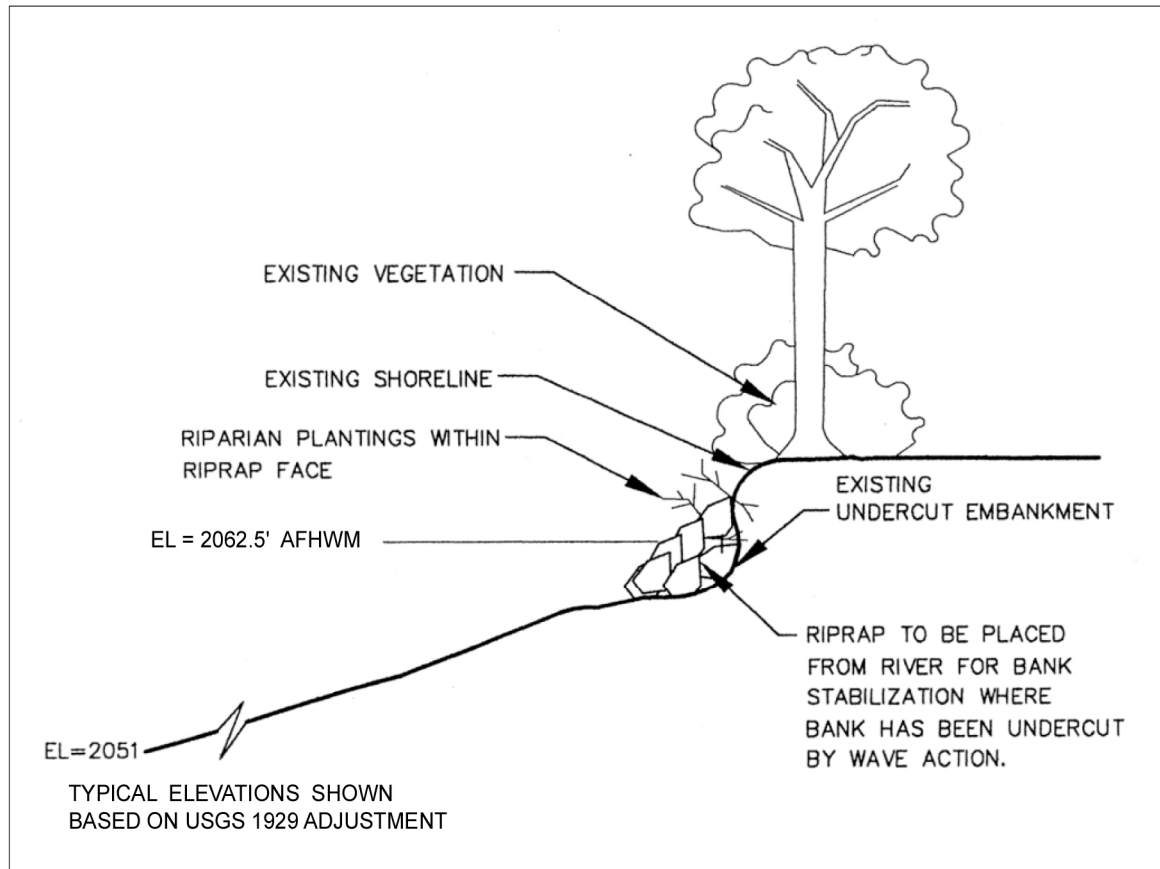


Walls may be used to retain earth and to absorb topographic elevation changes only when necessary. Retaining walls shall not exceed four feet, six inches (4'-6") in height. Certain conditions may require offset tiered retaining walls with plantings. No visible gabion or sheet pile retaining wall systems are allowed without DRB approval.

Retaining walls and cribbing should utilize natural materials such as wood timbers, logs, rocks and textured, board-formed or color-tinted concrete. Creosote treated materials and railroad ties are not permitted. Heavy timber retaining walls may be used with approval from the DRB.

SHORELINE STABILIZATION

Shoreline protection, as illustrated below, may be required by the US Army Corps of Engineers and/or Dover Bay Development, LLC, to prevent erosion of your property.



EXTERIOR LIGHTING

While attractive lighting fixtures can add to the beauty of your home, the primary purpose of landscape lighting is safety and identification rather than decoration. To achieve this purpose, landscape lighting at Dover Bay is limited to those areas in the building zone that are occupied by people and used for circulation. These include decks, courtyards and the driveway area within four (4) feet of the edge of the paved driveway surface. Lighting that pollutes the night sky or is objectionable to neighboring properties, rights of way or open space is not permitted.

One back lighted house number, approved by the DRB, is required to be installed on the home or garage and visible to vehicular traffic. Dock lighting is permitted using down lighted fixtures that do not exceed 12 inches in height.